



The Reserve at Rock Creek – Major Preliminary Plat

Applicants:

Tom and Stacey Davies (Property Owners)
The Reserve at Rock Creek, LLC represented by Tom Davies (Property Owner / Developer)
Civil Engineering Consultants, Inc. represented by Shane Devick (Project Engineer/Surveyor)

Request:

Preliminary plat approval of a major subdivision plat creating 18 single-family residential lots
(See *Attachment 'B'*)

Legal Description:

41.96 acres located within Part of the SW ¼ of Section 28, Township 80 North, Range 24 West of the 5th P.M., Polk County, Iowa (Crocker Township)

General Location:

2900 and 2906 NW 82nd Avenue, 8125 NW 28th Court and 8068 NW 27th Court, Ankeny
(See *Attachment 'A'*)

Existing Zoning:

“RR” Rural Residential District and “LDR” Low Density Residential District

Surrounding Zoning:

North “RR” Rural Residential District

South “RR” Rural Residential District / NW 35th Street (Hwy 415)

East “LDR” Low Density Residential District & “MDR” Medium Density Residential District

West “RR” Rural Residential District

Waiver Request (See Attachment 'C'):

Flag lots shall not exceed one (1) acre in size in areas with public sanitary sewer.

Cul-de-sac streets shall not exceed 600 feet from adjacent right-of-way to the end of the proposed right-of-way in Residential Developments.

GENERAL COMMENTS:

This preliminary plat proposes 18 single-family residential lots, two (2) street lots and two (2) outlots on approximately 41.96 acres. The current version of the preliminary plat can be found as *Attachment 'B'* to this report. The subject is primarily zoned “RR” Rural Residential District, but also contains a small area of “LDR” Low Density Residential District zoning. The plat proposes to utilize the cluster development option under the Rural Residential District standards, which allows single-family lots at a minimum size of 20,000 square feet and minimum width of 100 feet. This is the more restrictive cluster option under the two zoning districts existing on the property.

The property consists of five (5) total tax parcels, including two (2) existing single-family dwellings at 2900 and 2906 NW 82nd Avenue. Also included within the development are the existing vacant properties at 8125 NW 28th Court, being Lot 6 and a portion of Lot 5 of Timberland Heights Plat II, and 8068 NW 27th Court, which was recently platted as Lot 30 of The Pines at Rock Creek Plat 1. 2900 and 2906 NW 82nd Avenue are currently accessed via a long private driveway extending south from NW 82nd Avenue, and the existing residences will be retained on Lots 9 and 16. The plat proposes a long cul-de-sac street, roughly following the existing shared driveway, to provide street frontage and access to all of the proposed lots. The proposed cul-de-sac street would line up with the existing north-south public roadway of NW 28th Street, which intersects with NW 82nd Avenue at the north plat boundary. Staff will work with the developer to establish a numbered street name for the new cul-de-sac that fits within the address grid and also clearly conveys that it is not a thru street.

The proposed cul-de-sac exceeds the maximum allowable length 600 feet, therefore the developer has asked for a waiver to this standard. Steep slopes and the presence of Rock Creek, in addition the narrowness of the parent parcels, support a cul-de-sac street that exceeds the 600-foot maximum. To alleviate concerns about a single access to the proposed 18 lots, the developer has chosen to create an emergency access driveway that will provide connection between the new cul-de-sac and NW 27th Court located directly to the east within the development of The Pines at Rock Creek. This driveway will create a secondary access to be utilized in emergency situations. All of the proposed lots will access the new cul-de-sac street directly. Two (2) linear outlots, Outlot 'Y' and Outlot 'Z', are proposed on either side of the new roadway to restrict possible connections from existing residential developments adjacent. This is an effort to minimize the number of vehicles utilizing the new roadway and to protect stormwater infrastructure in the backyards of the new platted lots to the east within The Pines at Rock Creek Plat 1.

The Developer is requesting two (2) waivers. A waiver to allow the length of the cul-de-sac street to exceed 600 feet, which has been previously discussed. Second, a waiver to allow flag lots to exceed one (1) acre in size that are served by public sanitary sewer. This second waiver would apply to Lots 10 and 11. The waiver request letter from the consultant can be found as *Attachment C* to this report.

Water service will be provided by Des Moines Water Works. The developer is responsible for future construction and costs related to connection and extension of the public water main to serve the project. Sanitary sewer service will be provided by Polk County, with the developer responsible for extending a public sewer main from the adjacent Rock Creek trunk sewer line to serve the development. The subject property contains a number of mature woodlands and steep slopes. The Polk County Zoning Ordinance requires 75 percent of the mature woodlands to be protected and has requested the developer and engineer to evaluate and establish a safe slope building setback line to protect natural resources and future development.

STAFF REVIEW:

This preliminary plat was previously considered by the Polk County Zoning Commission in February of 2020, at which time the Commission unanimously recommended approval. The developer did not move forward at that time, and has since acquired the additional property located at 8125 NW 28th Court, and revised the layout to include one (1) additional proposed lot. No other major changes have

occurred to the proposed layout compared to the previously approved layout. An updated waiver request letter is included as *Attachment C*. The waivers requested are identical to the prior submittal, with no new or additional waivers requested. The preliminary plat is required to come back before the Commission due to the incorporation of an additional property and change to the layout including one (1) additional lot. Additionally, re-approval of the preliminary plat begins a new two-year timeline for the developer to construct the improvements and receive final plat approval prior to expiration of the preliminary plat.

Staff has reviewed this plat for compliance with the Polk County Zoning and Subdivision Ordinances, including the proposed waiver requests. The plat is considered a major subdivision due to the number of lots requested as well as required public improvements. Staff finds there is significant topography and mature woodlands on the subject property that limit the available buildable areas. In addition to the topography and the woodland protection requirements, the shape of the parent parcel with the limited frontage onto NW 82nd Avenue with the inability to utilize the frontage onto Highway 415 due to the location of Rock Creek and the topography, provide understandable reasons to support creative lot sizes, configurations and a cul-de-sac that exceeds the maximum allowed length. The plat is within two (2) miles of both the City of Johnston and the City of Ankeny corporate limits. Both jurisdictions have indicated they will waive their right to review this subdivision plat.

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat of The Reserve at Rock Creek, including the requested waivers to allow a cul-de-sac street that exceeds 600 feet in length and to allow flag lots that exceed one (1) acre in size and are served by public sanitary sewer for Lots 10 and 11. Approval is based upon the proposal's conformance to the Zoning and Subdivision Ordinances, and subject to a revised preliminary plat submittal addressing all staff comments.

MAJOR PRELIMINARY PLAT OF THE RESERVE AT ROCK CREEK

2906 NW 82ND AVENUE, ANKENY, IA 50023

SHEET INDEX

Sheet Number	Sheet Title
1	COVER
2	OVERALL
3	DIMENSION PLAN (NORTH)
4	DIMENSION PLAN (SOUTHWEST)
5	DIMENSION PLAN (SOUTHEAST)
6	GRADING PLAN (NORTH)
7	GRADING PLAN (SOUTH)



VICINITY SKETCH

SCALE: 1"=400'

LEGEND

●	FOUND CORNERS
○	SET PROPERTY CORNER (5/8" IR, WORANCE CAP #12265 UNLESS OTHERWISE NOTED)
---	PROPERTY BOUNDARY
---	LOT LINES
---	ORIGINAL PLATTED LOT LINES
---	TREE LINE
---	EXISTING PARKING STALL PAINT LINES
---	BACK OF PORTLAND CEMENT CONCRETE (P.C.C.) CURB & EDGE OF PORTLAND CEMENT CONCRETE SLAB
---	GUTTER
---	CENTERLINE STREET
---	SIDEWALK
---	EXISTING CHAIN LINK FENCE
---	EXISTING PIPE FENCE
---	EXISTING WIRE FENCE
---	OVERHEAD WIRES (X = NUMBER OF WIRES)
---	UNDERGROUND FIBER OPTIC LINES
---	STORM SEWER AND SIZE
---	SANITARY SEWER AND SIZE
---	WATER MAIN AND SIZE
---	GAS MAIN AND SIZE
---	UNDERGROUND ELECTRIC
---	UNDERGROUND CABLE TELEVISION LINE
---	UNDERGROUND TELEPHONE LINE
---	RETAINING WALL
---	EXISTING BUILDINGS
MAPS	UTILITY LOCATION BASED ON MAPS PROVIDED BY THE IOWA ONE CALL SERVICE (APPROXIMATE LOCATIONS ONLY)
EST	ESTIMATED LOCATION BASED ON A COMBINATION OF SURVEY DATA, UTILITY MAPS, AND THE ORIGINAL SITE PLAN.
PLANS	LOCATION BASED ON ORIGINAL CONSTRUCTION DRAWINGS PROVIDED BY THE CITY OF URBANDALE.
B/B	BACK OF CURB TO BACK OF CURB
CI & DIP	CAST IRON PIPE & DUCTILE IRON PIPE
VCP	VITRIFIED CLAY PIPE
RCP	REINFORCED CONCRETE PIPE
■	CLEAN OUT

○	SANITARY & STORM MANHOLE
○	OPEN THROAT INTAKE OR M6 INTAKE
○	SINGLE & DOUBLE BACK OF CURB(B/C) INTAKE
○	STORM AREA INTAKE
○	MEDIACOM COMMUNICATIONS RISER
○	COMMUNICATIONS RISER
○	ELECTRIC TRANSFORMER
○	ELECTRIC METER
○	ELECTRIC BOX
○	WOOD POWER POLE WITH LIGHT
○	POWER POLE
○	STEEL STREET LIGHT POLE
○	METAL LIGHT POLE
○	GUYWIRE ANCHOR
○	FIRE HYDRANT
○	WATER MAIN GATE VALVE
○	WATER MAIN STOP BOX VALVE
○	SIGN
○	DEEDED BEARINGS & DISTANCE
○	PREVIOUSLY RECORDED BEARINGS & DISTANCE
○	MEASURED BEARINGS & DISTANCE
○	FINISHED FLOOR ELEVATION
○	PORTLAND CEMENT CONCRETE
○	ASPHALTIC CEMENT CONCRETE
○	CONCRETE MASONRY UNIT
○	FLAGPOLE
○	IRON ROD
○	IRON PIPE
○	COUNTY RECORDER'S INDEXING BOOK AND PAGE
○	EXISTING DECIDUOUS TREE & CALIPER SIZE (GRAPHIC TREE SIZE IS REPRESENTATIVE OF APPROXIMATE DRIP LINE)
○	EXISTING EVERGREEN TREE & CALIPER SIZE (GRAPHIC TREE SIZE IS REPRESENTATIVE OF APPROXIMATE DRIP LINE)
○	BUILDING HEIGHT MEASURED FROM THE EXISTING GROUND TO PEAK (HEIGHT ACCURACY = +/- 0.5 FEET)
○	PROPERTY ADDRESS

○	SANITARY & STORM MANHOLE
○	OPEN THROAT INTAKE OR M6 INTAKE
○	SINGLE & DOUBLE BACK OF CURB(B/C) INTAKE
○	STORM AREA INTAKE
○	MEDIACOM COMMUNICATIONS RISER
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○	BUILDING HEIGHT MEASURED FROM THE EXISTING GROUND TO PEAK (HEIGHT ACCURACY = +/- 0.5 FEET)
○	PROPERTY ADDRESS

FLOODPLAIN INFORMATION
FIRM MAP 19153C0185F
EFFECTIVE DATE: 2/01/14

LAND AREA
176,457 SQUARE FEET
40.62 ACRES

ZONING
RR & LDR

LEGAL DESCRIPTION

PARCEL D' & E' OF SW1/4 OF SECTION 28 AND TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., BEING OFFICIAL PARCELS RECORDED IN BOOK 8541, PAGE 541 AT THE POLK COUNTY RECORDER'S OFFICE, AND PART OF THE NW2 SW1/4 OF SAID SECTION 28 ALL BEING IN THE CITY OF ANKENY, POLK COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF LOT 4, TIMBERLAND HEIGHTS PLAT II, AN OFFICIAL PLAT RECORDED IN BOOK 1091, PAGE 916 AT THE POLK COUNTY RECORDER'S OFFICE; THENCE N00°18'21"E, 420.61 FEET ALONG THE EAST LINE OF SAID TIMBERLAND HEIGHTS PLAT II SAID EAST LINE COINCIDING WITH THE WEST LINE OF SAID PARCEL D', TO A POINT; THENCE S85°50'07"E, 277.35 FEET ALONG SAID EAST LINE TO A POINT; THENCE N00°17'08"E, 847.46 FEET ALONG SAID EAST LINE TO THE NE CORNER OF SAID TIMBERLAND HEIGHTS PLAT II; SAID NE CORNER ALSO BEING ON THE SOUTH LINE OF STREET LOT 'A' OF THE PINES AT ROCK CREEK PLAT I, AN OFFICIAL PLAT RECORDED IN BOOK 17334, PAGE 661 AT THE POLK COUNTY RECORDER'S OFFICE AND THE NORTH RIGHT-OF-WAY LINE OF NN 82ND AVENUE AS IT IS PRESENTLY ESTABLISHED; THENCE N81°28'55"E, 84.36 FEET ALONG SAID SOUTH LINE AND SAID NORTH RIGHT-OF-WAY LINE TO THE NW CORNER OF STREET LOT 'C' OF SAID THE PINES AT ROCK CREEK PLAT I; THENCE S00°14'30"W, 716.64 FEET ALONG THE WEST LINE OF SAID THE PINES AT ROCK CREEK PLAT I TO A POINT; THENCE S04°36'54"E, 34.42 FEET ALONG SAID WEST LINE TO A POINT; THENCE S00°13'36"W, 330.86 FEET ALONG SAID WEST LINE TO SW CORNER OF LOT 23 OF SAID THE PINES AT ROCK CREEK PLAT I; SAID SW CORNER ALSO BEING ON THE NORTH LINE OF THE SW1/4 SW1/4 OF SAID SECTION 28; THENCE N91°44'36"E, 367.40 FEET ALONG SAID SOUTH LINE OF THE PINES AT ROCK CREEK PLAT I AND THE NORTH LINE OF SAID SW1/4 SW1/4 TO THE NE CORNER OF SAID SW1/4 SW1/4; SAID NE CORNER ALSO BEING THE NW CORNER OF THE WOODS AT ROCK CREEK PLAT I, AN OFFICIAL PLAT RECORDED IN BOOK 17275, PAGE 318 AT THE POLK COUNTY RECORDER'S OFFICE; THENCE S00°18'47"W, 1319.32 FEET ALONG THE EAST LINE OF SAID SW1/4 SW1/4; SAID EAST LINE ALSO BEING THE WEST LINE OF SAID THE WOODS AT ROCK CREEK PLAT I, TO THE SE CORNER OF SAID SW1/4 SW1/4; THENCE N81°35'44"W, 370.25 FEET ALONG THE SOUTH LINE OF SAID SW1/4 SW1/4 AND SAID WEST LINE OF THE WOODS AT ROCK CREEK PLAT I TO THE SW CORNER OF SAID SW1/4 SW1/4; SAID SW CORNER ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NN 10TH AVENUE AS IT IS PRESENTLY ESTABLISHED AND RECORDED IN THE CONDEMNATION DOCUMENT RECORDED IN BOOK 6644, PAGE 866 AT THE POLK COUNTY RECORDER'S OFFICE; THENCE N61°54'40"W, 385.40 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT; THENCE N41°25'00"E, 47.26 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT; THENCE N64°04'25"E, 583.08 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE SE CORNER OF SAID WOODLAND CREEK, AN OFFICIAL PLAT RECORDED IN BOOK 7545, PAGE 485 AT THE POLK COUNTY RECORDER'S OFFICE, SAID SE CORNER ALSO BEING ON THE WEST LINE OF SAID SW1/4 SW1/4; THENCE N00°41'14"E, 846.91 FEET ALONG THE WEST LINE OF SAID SW1/4 SW1/4, SAID WEST LINE ALSO COINCIDING WITH THE EAST LINE OF SAID WOODLAND CREEK, TO THE NW CORNER OF SAID SW1/4 SW1/4, SAID NW CORNER ALSO BEING THE SW CORNER OF SAID TIMBERLAND HEIGHTS PLAT II; THENCE S91°46'09"W, 360.24 FEET ALONG THE SOUTH LINE OF SAID TIMBERLAND HEIGHTS PLAT II TO THE POINT OF BEGINNING AND CONTAINING 40.75 ACRES INCLUDING 5,564 SQUARE FEET OF PUBLIC RIGHT-OF-WAY EASEMENT MORE OR LESS.

UTILITY PROVIDERS

WATER SERVICE
DES MOINES WATER WORKS
WASTEWATER TREATMENT
POLK COUNTY SANITARY SEWER CONSTRUCTED BY THE PLAT DEVELOPER

BULK REGULATIONS (CLUSTER DEVELOPMENT OPTION)

MINIMUM LOT SIZE: 20,000 SQUARE FEET
MINIMUM LOT WIDTH: 100 FEET
MINIMUM FRONT SETBACK: 30 FEET
MINIMUM SIDE SETBACK: 10 FEET
MINIMUM REAR SETBACK: 30 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET
MAXIMUM BUILDING COVERAGE: 30%

PROPERTY OWNER:
TOM DAVIES
317 S. ANKENY BOULEVARD
ANKENY, IA 50023

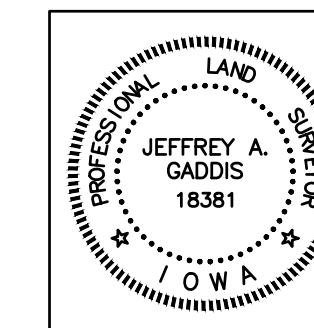
PREPARED FOR:
ME L.L.C.
317 S. ANKENY BOULEVARD
ANKENY, IA 50023
515-464-2814

PROPERTY LOCATION:
2906 NW 82ND AVENUE
ANKENY, IA 50023

NOTES

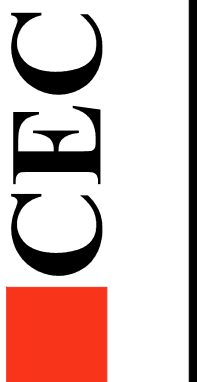
- THIS PARCEL MAY BE SUBJECT TO EASEMENTS OF RECORD. NO TITLE WORK WAS PERFORMED BY THIS SURVEYOR.
- THE UTILITIES SHOWN ON SURVEY ARE BASED ON OBSERVED EVIDENCE AND MAPS OBTAINED FROM THE IOWA ONE CALL DESIGN REQUEST LOCATE SERVICE. THIS SURVEYOR MAKES NO GUARANTEE THAT ALL UTILITIES THAT EXIST ON THE PROPERTY ARE SHOWN ON THE SURVEY.
- MAILBOXES WITHIN ROAD RIGHT-OF-WAY SHALL BE OF A BREAKAWAY DESIGN. THE EXISTING BUILDINGS NOTED TO BE REMOVED SHALL BE DONE SO PRIOR TO FINAL PLAT APPROVAL.
- ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED MUST BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
- LOTS 'A' AND 'B' ARE TO BE DEDICATED TO POLK COUNTY FOR ROADWAY PURPOSES.
- THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE PRIVATE DETENTION BASINS AND THEIR OUTLET FACILITIES WITHIN THE PRIVATE STORM WATER DETENTION EASEMENTS. ACCESS EASEMENTS DEFINED ON THE PLAT ARE FOR THE HOMEOWNERS ASSOCIATION TO ACCESS THE BASIN FACILITIES FOR MAINTENANCE PURPOSES.
- ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNERS EXPENSE.
- CULVERTS TO BE USED FOR CROSSING OVERLAND FLOWAGE EASEMENTS MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
- UTILITIES TO BE CONSTRUCTED PER THE LATEST VERSION OF IOWA SDAS.
- FUTURE DEVELOPMENT OF THE PROPERTY IS SUBJECT TO ARTICLE 7, SECTION 4, "NATURAL RESOURCE PROTECTION, WOODLANDS" OF THE POLK COUNTY ZONING CODE, WHICH PRESERVES WOODED AREAS OF THE PROPERTY.
- MAINTENANCE OF ALL DRAINAGE EASEMENTS TO BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- POST DEVELOPMENT RUNOFF WILL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES.
- POLK COUNTY DOES NOT REQUIRE OR ISSUE PERMITS FOR SIDEWALKS AND DOES NOT ACCEPT THE LIABILITY AND/OR RESPONSIBILITY FOR CONSTRUCTION PLACEMENT, REPAIR, OR MAINTENANCE THEREOF OF ANY STREET SIDEWALK INSTALLED IN THE PLAT BY ANY HOME OWNER.
- GRADING CONTRACTOR WILL BE REQUIRED TO PROVIDE A 4-YEAR MAINTENANCE BOND FOR EROSION CONTROL. THE IDNR STORM WATER DISCHARGE PERMIT WILL BE REQUIRED PRIOR TO GRADING OPERATIONS.
- ACCESS TO EACH LOT IS RESTRICTED TO THE SUBDIVISION ROAD.
- THE SEPTIC SYSTEMS WILL BE DISCONNECTED AND ABANDONED PRIOR TO FINAL PLAT APPROVAL.

CERTIFICATION



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

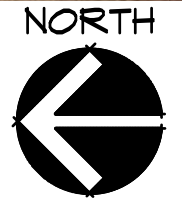
JEFFREY A. GADDIS, IOWA LICENSE NO. 18381 DATE MY LICENSE RENEWAL DATE IS 15 DECEMBER 31, 2020 PAGES OR SHEETS COVERED BY THIS SEAL.



DATE:	1ST SUB. 2021-08-18
DATE OF SURVEY:	5-D
DESIGNED BY:	JAG
DRAWN BY:	JAG



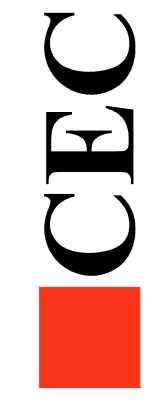
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 SCALE: 1"=100' (22"x34")



DATE: _____
 DATE OF SURVEY: 1ST 5/18, 2021-08-18
 DESIGNED BY: _____
 DRAWN BY: JAG

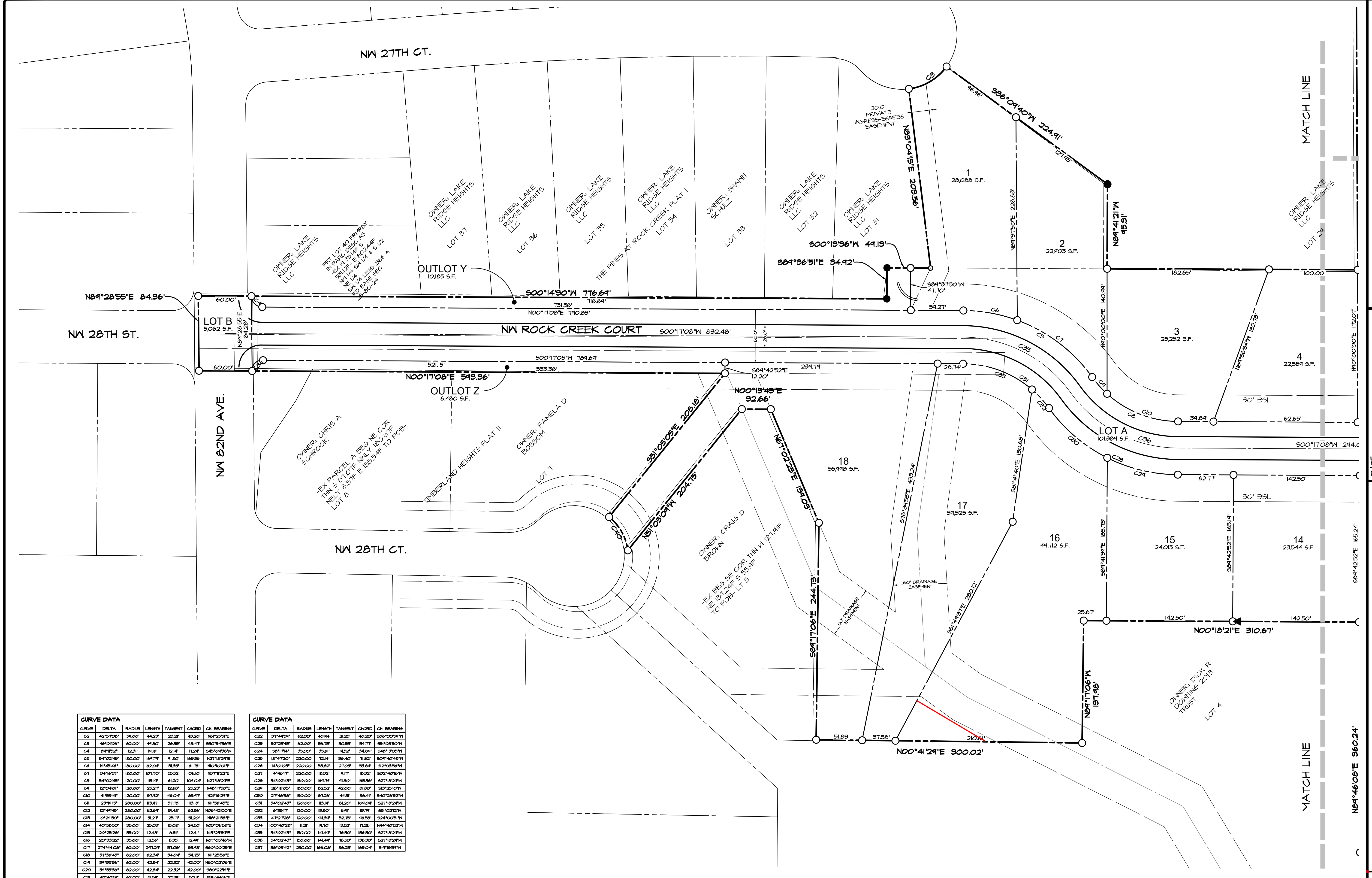
THE RESERVE AT ROCK CREEK
 2406 NM 32ND AVENUE, ANKENY, IA 50023
OVERALL

SHEET
 OF 7
 E-8613



Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12, Des Moines, Iowa 50322
 515.276.4884 · mail@cecinc.com

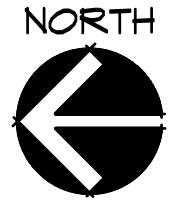
C:\E-FILES\2001\8613_3_CED Drawings\Plan\8613_03 PP.dwg, 8/18/2021 3:32:11 PM, mmorgan, E1



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C2	42°57'08"	94.00'	44.28'	29.21'	48.20'	N61°29'51"E
C3	46°01'06"	62.00'	44.80'	26.39'	46.47'	S80°54'36"E
C4	84°11'52"	12.5'	14.6'	12.4'	17.2'	S40°04'36"E
C5	54°02'48"	180.00'	64.74'	41.80'	163.96'	N27°18'24"E
C6	14°48'44"	180.00'	63.04'	31.39'	61.78'	N01°03'01"E
C7	34°18'51"	180.00'	107.10'	55.32'	106.10'	N57°11'22"E
C8	54°02'48"	120.00'	18.9'	61.20'	104.04'	N27°18'24"E
C9	12°04'01"	120.00'	25.27'	12.64'	25.29'	N48°11'50"E
C10	41°56'41"	120.00'	81.42'	46.04'	85.87'	N21°16'24"E
C11	28°18'18"	280.00'	113.47'	57.18'	113.47'	N11°56'48"E
C12	12°44'48"	280.00'	62.64'	31.48'	62.56'	N06°42'00"E
C13	10°24'50"	280.00'	51.27'	25.11'	51.20'	N08°21'38"E
C14	40°58'50"	35.00'	25.09'	15.08'	24.50'	N09°06'58"E
C15	20°28'28"	35.00'	12.46'	6.31'	12.41'	N13°23'34"E
C16	20°33'22"	35.00'	12.56'	6.39'	12.44'	N07°05'46"E
C17	214°44'08"	62.00'	241.24'	51.08'	88.48'	S60°00'29"E
C18	51°36'48"	62.00'	62.34'	34.04'	54.75'	N11°25'56"E
C19	34°35'36"	62.00'	42.84'	22.32'	42.00'	N60°02'06"E
C20	34°35'36"	62.00'	42.84'	22.32'	42.00'	S60°22'14"E
C21	41°40'31"	62.00'	51.54'	27.94'	50.11'	S36°44'16"E

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C22	37°44'54"	62.00'	40.44'	21.25'	40.20'	S06°00'54"E
C23	52°28'48"	62.00'	36.75'	20.59'	34.71'	S91°08'30"E
C24	58°11'14"	35.00'	35.61'	19.52'	34.04'	S46°18'09"E
C25	18°41'20"	220.00'	72.14'	36.40'	71.82'	S04°40'48"E
C26	14°01'03"	220.00'	59.82'	27.08'	58.64'	S12°03'56"E
C27	41°46'11"	220.00'	16.32'	4.11'	16.32'	S02°40'16"E
C28	54°02'48"	180.00'	164.78'	91.80'	163.56'	S27°18'24"E
C29	26°16'02"	180.00'	82.52'	42.00'	81.80'	S18°28'10"E
C30	27°46'38"	180.00'	81.26'	44.91'	86.41'	S40°26'32"E
C31	54°02'48"	120.00'	18.9'	61.20'	104.04'	S27°18'24"E
C32	6°39'11"	120.00'	19.80'	6.41'	19.71'	S91°02'12"E
C33	41°21'26"	120.00'	44.34'	22.75'	46.56'	S24°00'51"E
C34	100°40'28"	11.21'	11.70'	13.52'	17.36'	N44°40'52"E
C35	54°02'48"	180.00'	141.44'	76.50'	136.50'	S27°18'24"E
C36	54°02'48"	180.00'	141.44'	76.50'	136.50'	S27°18'24"E
C37	38°08'42"	280.00'	166.08'	86.23'	163.04'	S14°18'54"E

SCALE: 1"=100' (11"x17")
 SCALE: 1"=50' (22"x34")



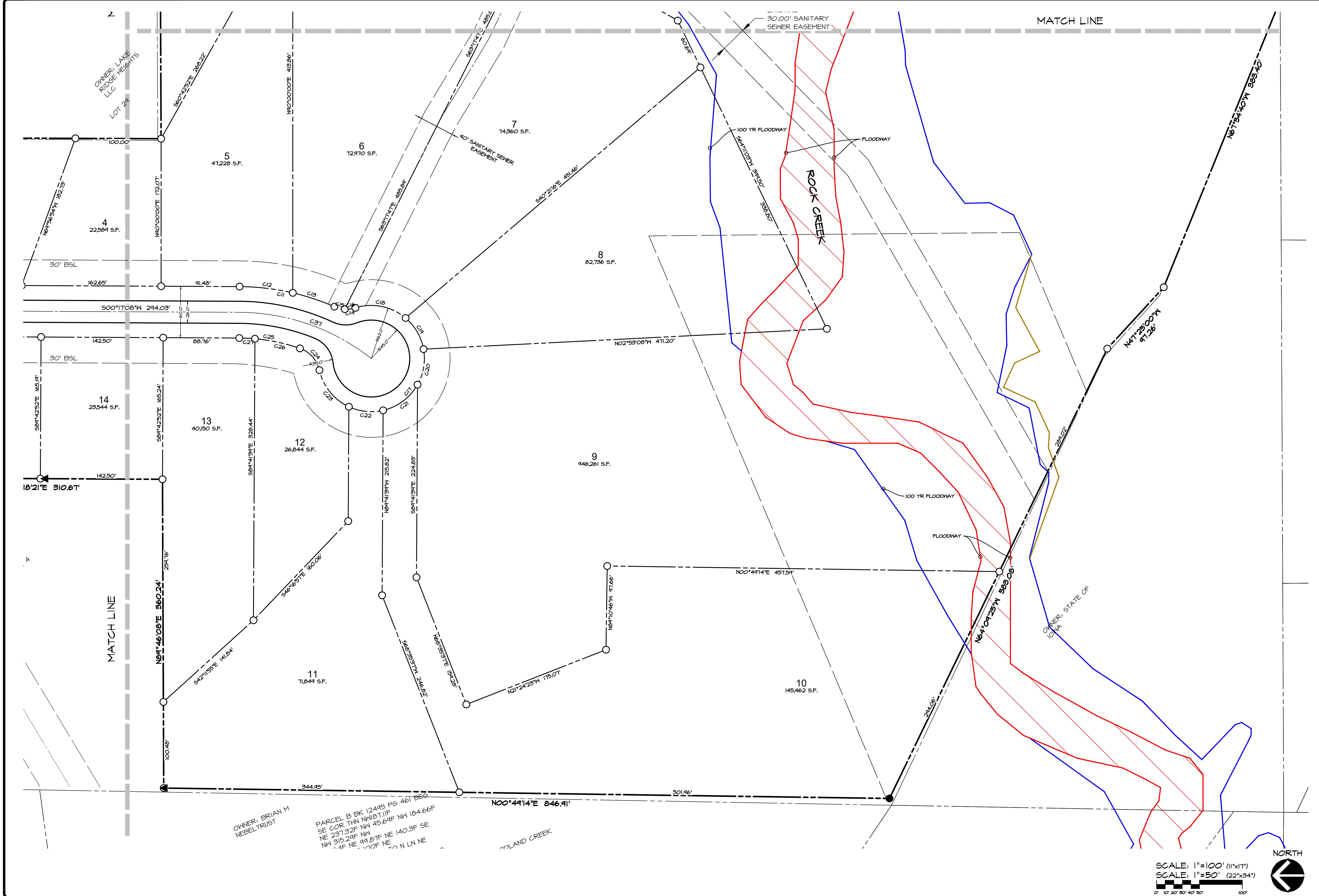
Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12, Des Moines, Iowa 50322
 515.276.4884, mail@cecinc.com

CEC

DATE: _____
 DATE OF SURVEY: 1ST FEB. 2021-08-18
 DESIGNED BY: _____
 DRAWN BY: JAG

THE RESERVE AT ROCK CREEK
 2406 NW 82ND AVENUE, ANKENY, IA 50023
DIMENSION PLAN (NORTH)

SHEET 3 OF 7
 E-8613



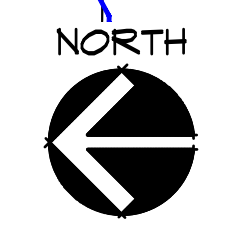
MATCH LINE

MATCH LINE

OWNER: BRIAN M
NEBEL TRUST

PARCEL B BK 12495 PG 461 BEG
SE COR THN NW1/4 NW1/4
NE 237.32' NW 45.69' NW 184.66'
NW 315.24' NW
44' NE 99.87' NE 140.3' SE
44' NE 120' NE
TO N LN NE

SCALE: 1"=100' (11"x17")
SCALE: 1"=50' (22"x34")



DATE:	1ST SUB. 2021-08-18
DATE OF SURVEY:	5-D
DESIGNED BY:	JAG
DRAWN BY:	

THE RESERVE AT ROCK CREEK
2906 NA 2ND AVENUE, ANKENY, IA 50023

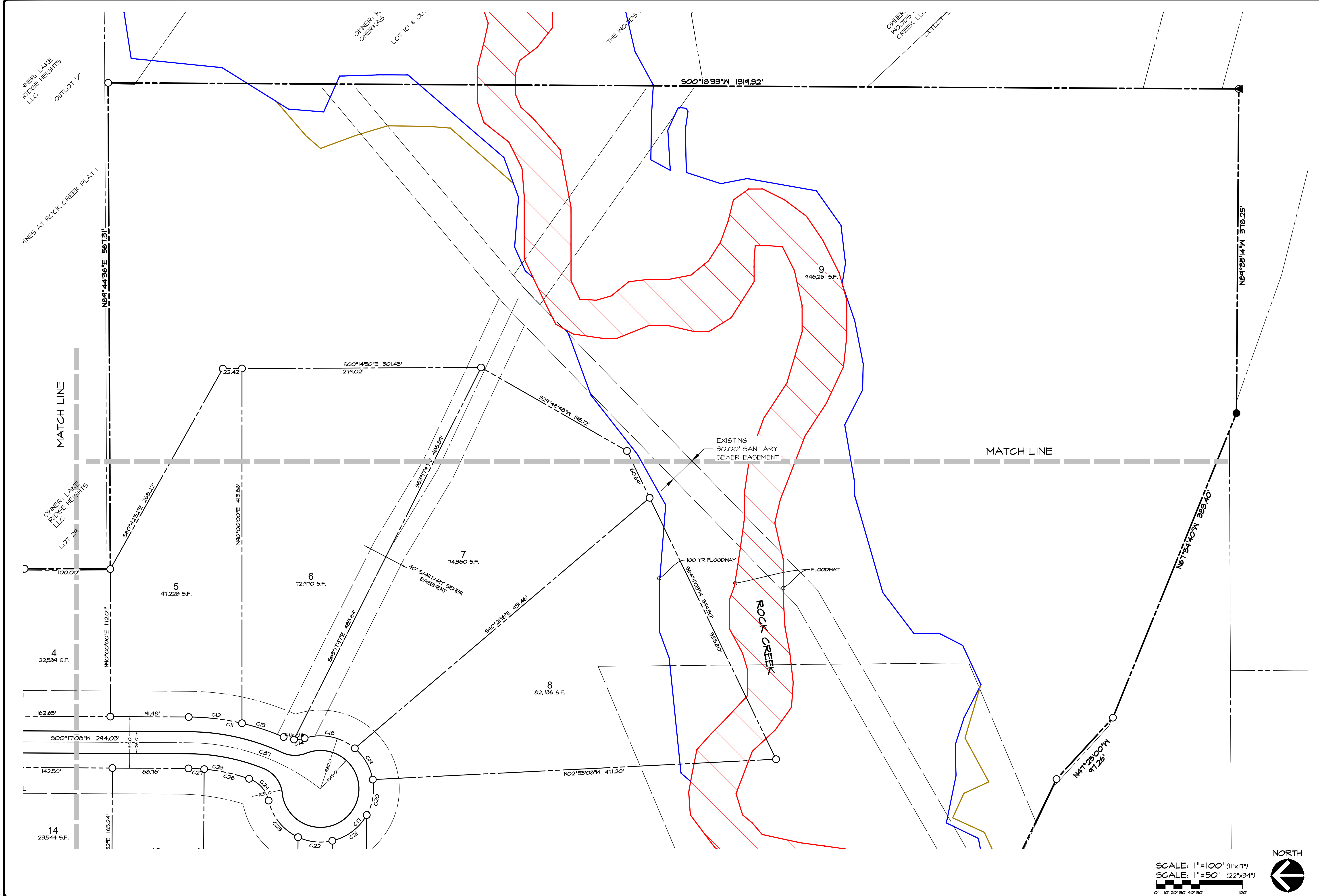
DIMENSION PLAN (SOUTHWEST)

SHEET
4
OF 7
E-8613

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Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa 50322
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OWNER, LAKE RIDGE HEIGHTS LLC
OUTLOT 'X'

MINES AT ROCK CREEK PLAT 1

OWNER, FK CHERKAS
LOT 10 & QU.

THE WOODS

OWNER, WOODS CREEK LLC
OUTLOT 'A'

$500^{\circ}18'33''W$ 1319.32'

$N29^{\circ}44'56''E$ 567.31'

$N24^{\circ}35'14''W$ 578.25'

$500^{\circ}14'50''E$ 301.43'
279.02'

$S24^{\circ}46'48''W$ 196.12'

MATCH LINE

MATCH LINE

OWNER, LAKE RIDGE HEIGHTS
LOT 28

5
41228 S.F.

6
72970 S.F.

7
74360 S.F.

8
82736 S.F.

9
946261 S.F.

4
22584 S.F.

14
23544 S.F.

EXISTING
30.00' SANITARY
SEWER EASEMENT

40' SANITARY SEWER
EASEMENT

100 YR FLOODWAY

FLOODWAY

ROCK CREEK

$N80^{\circ}00'00''E$ 172.07'

$N10^{\circ}00'00''E$ 418.66'

$S83^{\circ}17'14''E$ 498.84'

$S40^{\circ}21'16''E$ 451.46'

$S24^{\circ}10'34''W$ 347.35'

$N67^{\circ}53'40''W$ 388.40'

$N41^{\circ}28'00''W$
971.26'

$162.65'$

$91.48'$

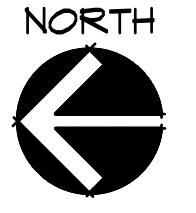
$142.50'$

$52^{\circ}E$ 165.24'

$88.76'$

$N02^{\circ}53'08''W$ 471.20'

SCALE: 1"=100' (11"x17")
SCALE: 1"=50' (22"x34")



Civil Engineering Consultants, Inc.
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515.276.4884, mail@cecinc.com

CEC

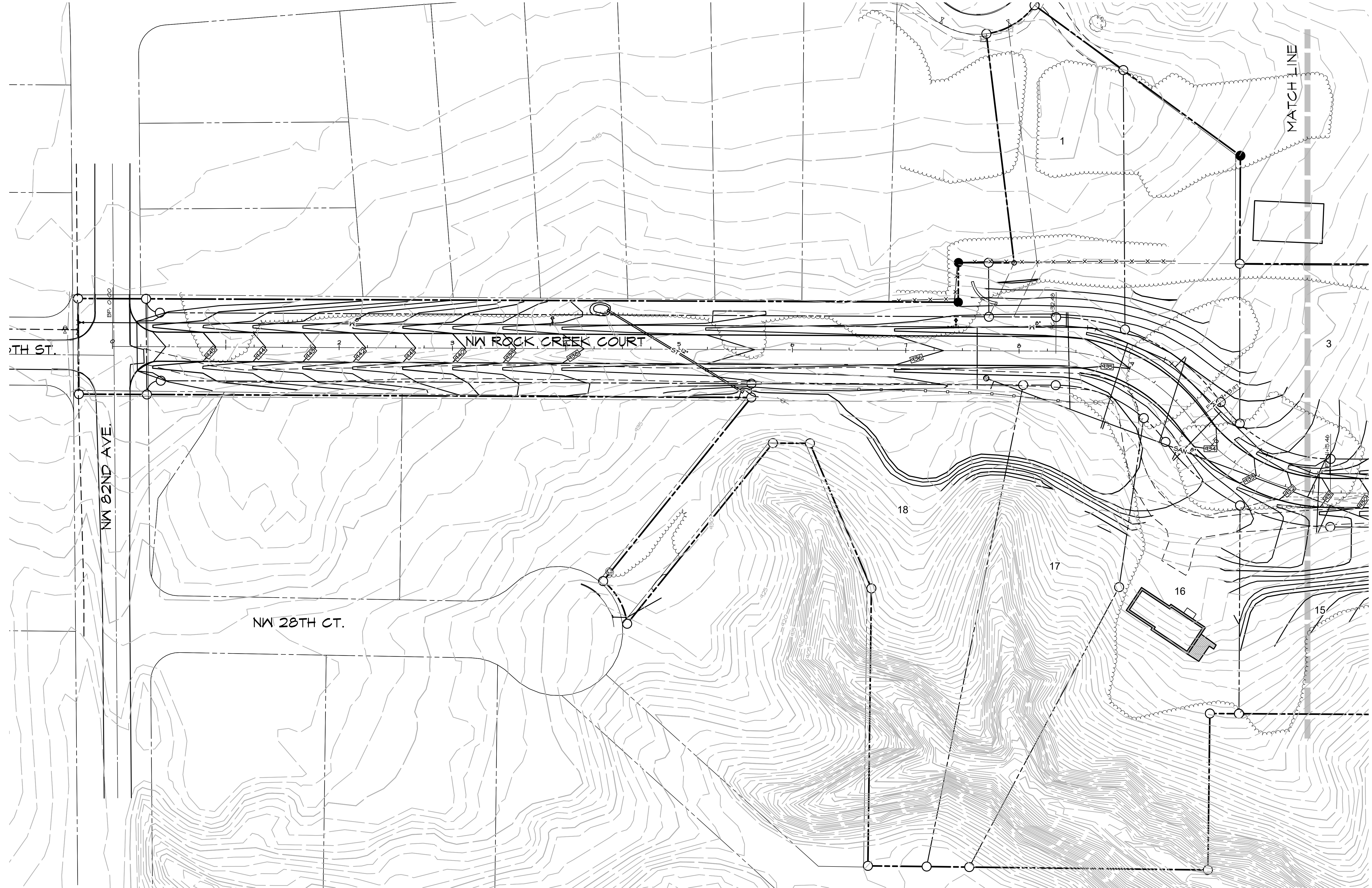
DATE:	1ST SUB.	2021-08-18
DATE OF SURVEY:	DESIGNED BY:	5JD
DRAWN BY:		JAG

THE RESERVE AT ROCK CREEK
2906 NA 82ND AVENUE, ANKENY, IA 50023

DIMENSION PLAN (SOUTHEAST)

SHEET
1
OF 7
E-8613

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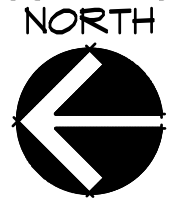
NW 82ND AVE.

NW 28TH CT.

NW ROCK CREEK COURT

MATCH LINE

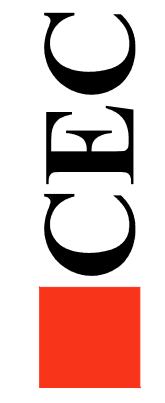
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 SCALE: 1"=40' (22'x34")



DATE:	1ST SUB. 2021-08-18
DATE OF SURVEY:	DESIGNED BY:
5-D	JAG
DRAWN BY:	

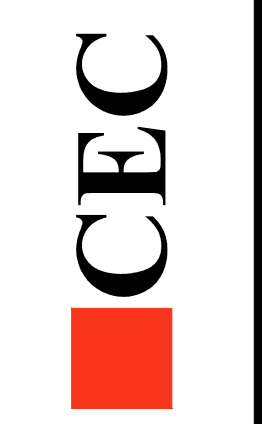
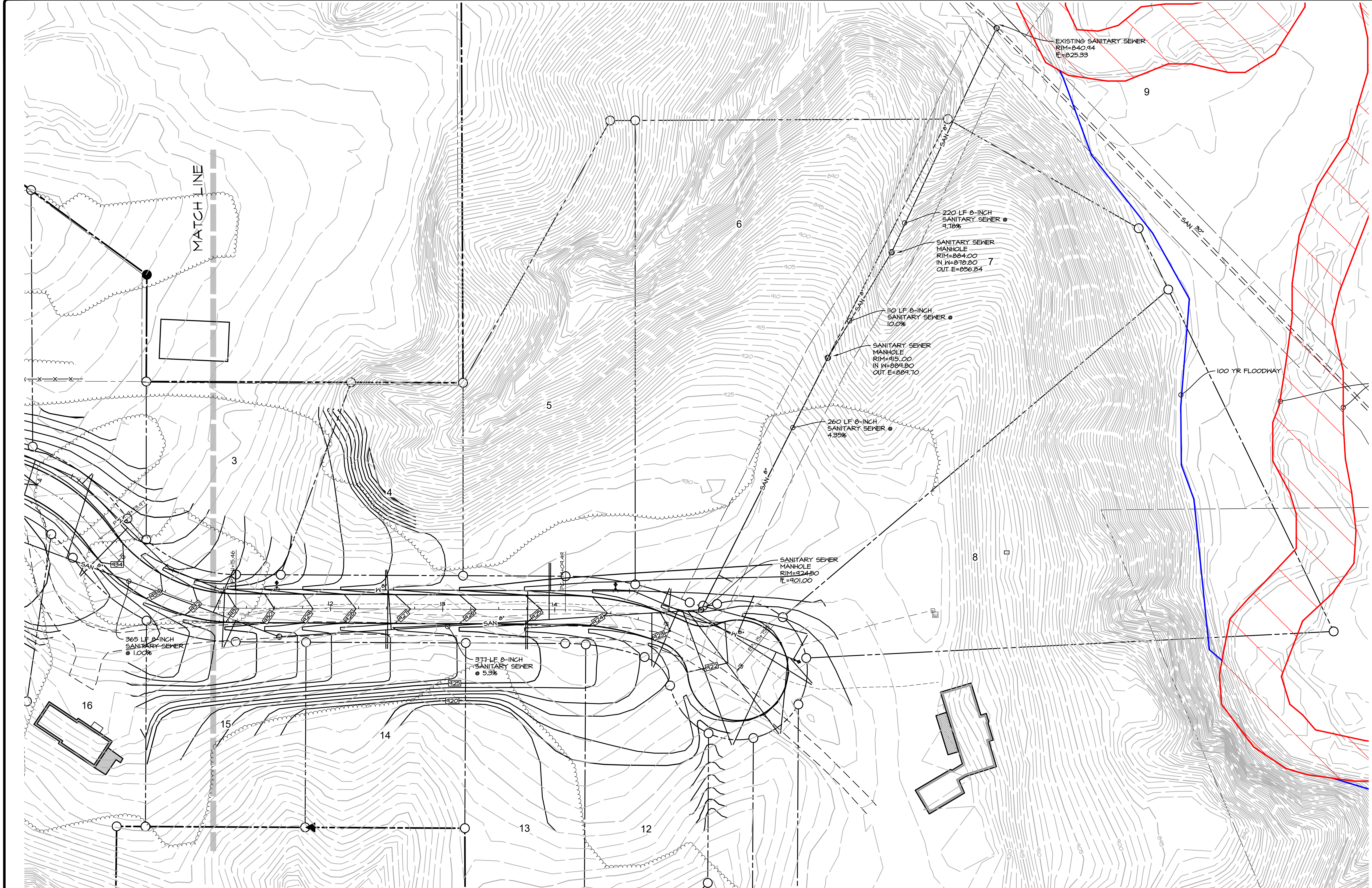
THE RESERVE AT ROCK CREEK
 2406 NW 82ND AVENUE, ANKENY, IA 50023
GRADING PLAN (NORTH)

SHEET
 OF 7
 E-8613



Civil Engineering Consultants, Inc.
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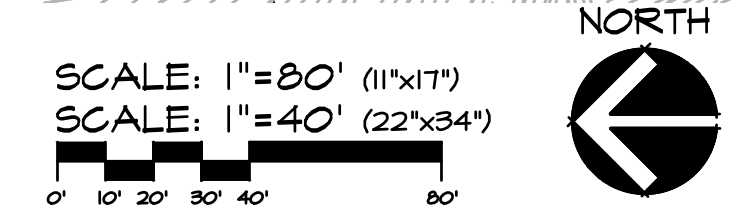
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DATE:	1ST SUB. 2021-08-18
DATE OF SURVEY:	5-D
DESIGNED BY:	JAG
DRAWN BY:	

THE RESERVE AT ROCK CREEK
2406 NW 82ND AVENUE, ANKENY, IA 50023
GRADING PLAN (SOUTH)

SHEET	1
OF	7
E-8613	



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Attachment C



Civil Engineering Consultants, Inc.

8-21-21

Polk County Public Works
5885 NE 14th Street
Des Moines, IA 50313
Attn: Land Use Planning Coordinator, Brian McDonough

RE: THE RESERVE AT ROCK CREEK
MAXIMUM SIZE OF SANITARY SERVED LOT WAIVER REQUEST LOTS 10 - 11
MAXIMUM CUL-DE-SAC LENGTH OF 600' WAIVER REQUEST

Hello Brian,

For the proposed The Reserve at Rock Creek plat, we would respectfully request a waiver for the maximum size of 1 acre for a lot served by sanitary sewer. This would apply to lots 10-11. All lots have been analyzed for acceptable sanitary service depth.

Finally, we request a waiver for the maximum length of a cul-de-sac. There is currently two existing homes on private driveways at the same length of the proposed cul-de-sac. We are proposing a "shared emergency access" to The Pines development. This will be a 16' wide "shared emergency access" concrete path located approximately at the 750' maximum length. The total length of the cul-de-sac is 1550 feet. This has been presented to and approved by the Fire Marshall. This path would be used in an emergency should the primary road become inaccessible.

Please consider the above requested waivers for The Reserve at Rock Creek.

Feel free to contact me should you have any questions or concerns.

Sincerely,

CIVIL ENGINEERING CONSULTANTS, INC.

A handwritten signature in blue ink that reads "Shane Devick". The signature is fluid and cursive.

Shane J. Devick, P.E.