

Polk County Public Works Department  
Planning & Development Division  
5885 NE 14th Street  
Des Moines, IA 50313

**NOTICE OF HEARING**

DATE: May 3, 2024

TO THE OWNER OR OCCUPANT:

NOTICE IS HEREBY GIVEN that an application has been filed before the Polk County Board of Adjustment by Stephen Erickson (property owner), requesting a front yard setback variance for a proposed covered front porch addition to the principal dwelling. The applicant is also requesting a side yard setback variance for an existing accessory building. The subject property is located at 5788 NE 3<sup>rd</sup> Street, Des Moines, and is legally described as Lot 1 Mat-Chris Place, being within Section 11 of Township 79 North, Range 24 West of the 5<sup>th</sup> P.M. (Saylor Township). The subject property is 0.287 acres (12,501 square feet) in size and is zoned "LDR" Low Density Residential District.

The Polk County Zoning Ordinance, *Article 6: Bulk and Use Standards, Division 2, Single-Family Residential Bulk Standards, Table 6.1* requires a minimum front yard setback of 35 feet for principal dwellings within the "LDR" Low Density Residential District. The appellants are proposing to construct a 7' x 13' (91 square feet) covered front porch addition with a setback of approximately 23.58 feet from the front property line, in lieu of the minimum building setback requirement of 35 feet. *Article 4: Use Regulations, Division 6, Accessory Regulations, Section 1 Residential Accessory Buildings: (G)* states: If the gross floor area of an accessory building is 720 square feet or less, it shall be located at least five (5) feet from the side or rear property line. The appellants request a side yard setback variance of approximately one (1) foot to allow an existing 11' x 20' (220 square feet) accessory building to remain located four (4) feet from the southern side yard, in lieu of the required five (5) feet

A public hearing will be held before the Polk County Board of Adjustment on **Monday, May 20, 2024, at 7:00 P.M.** in the meeting room of the Polk County Public Works Building, Planning & Development Division, 5885 NE 14<sup>th</sup> Street, Des Moines, IA 50313. As an alternative to in-person attendance, participants may attend the meeting electronically via voice and video conference per the information below. ALL INTERESTED PROPERTY OWNERS WILL BE GIVEN AN OPPORTUNITY TO BE HEARD WITH REFERENCE TO THE MATTER SET OUT ABOVE. This notice is only being sent to property owners within the required 250-foot notification boundary of the subject property. The Variance Appeal information is available for review by contacting Johnathon Waskow at 515.286.2280 or by email at [Johnathon.Waskow@polkcountyiowa.gov](mailto:Johnathon.Waskow@polkcountyiowa.gov). The information identified on this notice may be obtained in accessible formats by qualified persons with a disability. To receive more information or to request an accommodation to participate in a meeting, hearing, service, program, or activity conducted by this department, please contact Polk County Public Works, Planning & Development Division, 5885 NE 14<sup>th</sup> Street, Des Moines, Iowa 50313, 515-286-3705.

**The meeting will be held in-person, with a virtual attendance option also provided. Any participants wishing to join the meeting remotely may do so by using the link below or calling the number below and inputting the meeting ID.**

**Zoom Public Meeting Information:**

**Participate by phone by calling +1 312 626 6799**

**Participate by desktop/laptop/smartphone/tablet at:**

<https://polkcountyiowa-gov.zoom.us/j/87017334919?pwd=dLE0i7yMs5E9qg6jhcYZiAwHc0ukU0.1>

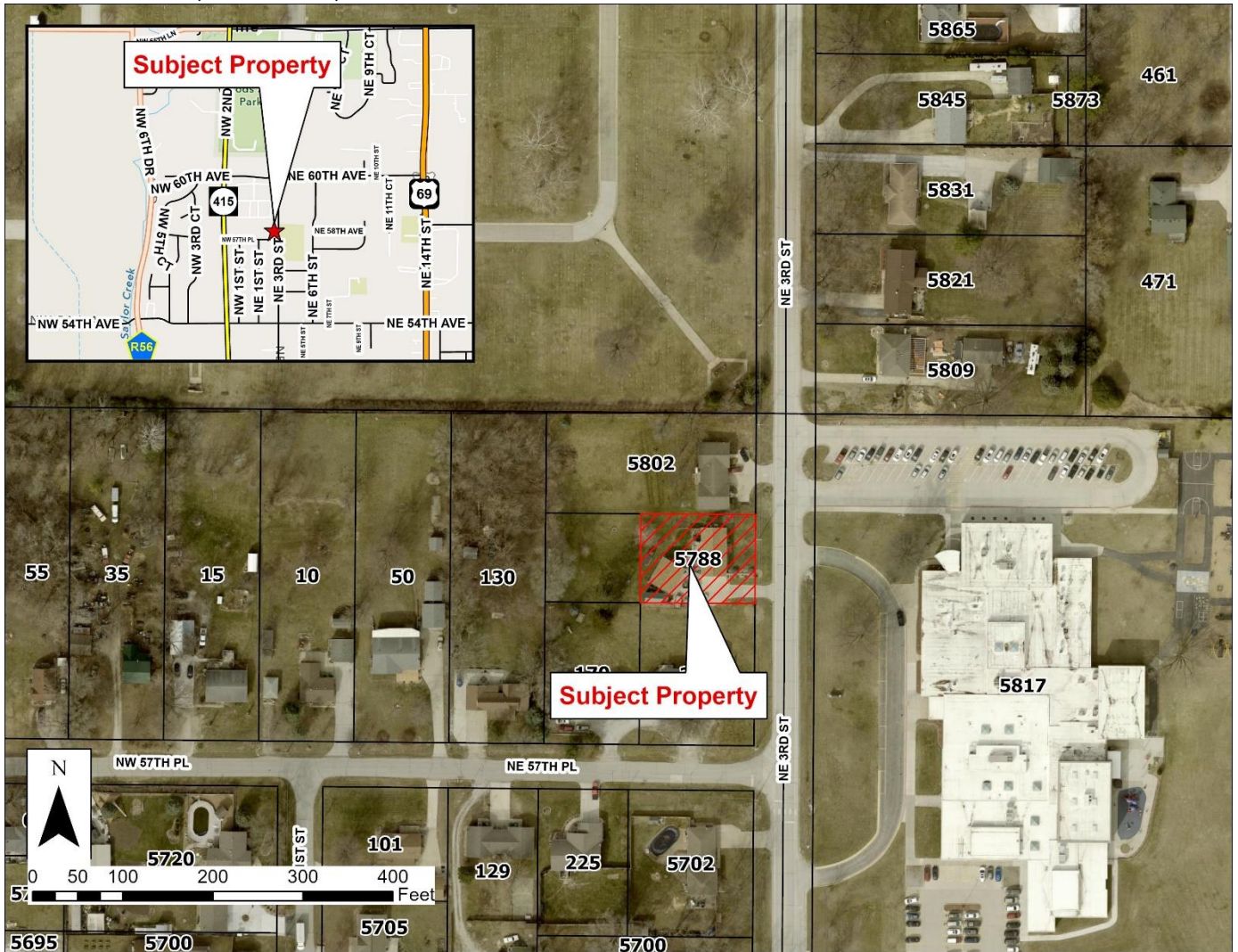
**Meeting ID: 870 1733 4919      Password: 806912**

*Several public hearings will be on the Board of Adjustment agenda. Please plan to join the meeting at 7:00 P.M., but wait to speak until the Chairperson asks for testimony on this item. The Final Agenda will be uploaded to the following page of the Polk County website by 4:30 P.M. on Friday, May 17, 2024: <https://www.polkcountyiowa.gov/public-works/board-of-adjustment/>.*

POLK COUNTY BOARD OF ADJUSTMENT  
Kay Frye, Chairperson  
Kendra Glider, Recording Secretary

**Aerial / Vicinity Map**

5788 NE 3<sup>rd</sup> Street, Des Moines; Geo Parcel: 792411301014



If you wish to be shown approving or disapproving of the Variance Appeal email Johnathon Waskow at [Johnathon.Waskow@polkcountyiowa.gov](mailto:Johnathon.Waskow@polkcountyiowa.gov) or call him at (515) 286-2280 or complete the information below and mail to Polk County Public Works Department, Planning & Development Division, 5885 NE 14th Street, Des Moines, IA 50313 at least 4 days prior to the meeting date. All public testimony received will be made part of the official case record. However, only testimony received prior to Wednesday, May 15<sup>th</sup> will be included/referenced within the staff report provided to the Board of Adjustment members.

----- cut and return -----

Cases #VAR-2024-14673 and #VAR-2024-14700 – 5788 NE 3<sup>rd</sup> St - Erickson Variances. Please provide your name and address. If the property does not have an address please provide a parcel # or identify your property by placing an “X” on the enclosed map and return the map along with this portion. As the owner of the property, I hereby state my

support for                       opposition to

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_