

FORT DES MOINES PARK IMPROVEMENTS

POLK COUNTY CONSERVATION

7200 SE 5TH ST,
DES MOINES, IOWA 50351

SHEET INDEX

C0.00	COVER SHEET
C0.01	OVERALL MAP
CD.01	3 SEASONS SHELTER DEMO PLAN
CD.02	NORTH POND & PENINSULA DEMO PLAN
C1.01	OUTDOOR CLASSROOM & 3 SEASONS SHELTER SITE PLAN
C1.02	NORTH POND & PENINSULA SITE PLAN
C2.01	OUTDOOR CLASSROOM & 3 SEASONS SHELTER GRADING & UTILITY PLAN
C2.02	NORTH POND & PENINSULA GRADING AND UTILITY PLAN
C3.01	DETAILS, SPECIFICATIONS & GENERAL NOTES

LEGEND:

	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
ELECTRIC TRANSFORMER		
WATER VALVE		
STORM INTAKE		
DECIDUOUS TREE		
SIGN		
FIRE HYDRANT		
CONTROL POINT		
MAJOR CONTOUR		
MINOR CONTOUR		
PROPERTY LINE		
CONSTRUCTION LIMITS		
UNDERGROUND ELECTRIC		
WATER MAIN		
SANITARY SEWER		
STORM SEWER		
5" PCC SIDEWALK		
6" HMA PAVING		
6" GRANULAR TRAIL		
RAIN GARDEN		

OWNER:

POLK COUNTY CONSERVATION
ATTN: WAYNE JOHNSON
11407 NW JESTER PARK DRIVE
GRANGER, IA 50109
(515) 323-5367

ZONING:

A-1 AGRICULTURAL
THE IMPROVEMENTS SHALL CONFORM WITH
THE A-1 ZONING DISTRICT STANDARDS.

PAVEMENT THICKNESS:

DRIVE AISLES: 6 INCH HMA
PARKING AREAS: 6 INCH HMA
SIDEWALKS: 5 INCH PCC

LEGAL DESCRIPTION:

- EX W OF LN BEG 360F E OF SW CORN THIN NE 365.22F NWLY 1136.35F NELY 641.61 SELY 318.27F NE 1136.4F E 675F TO NE COR-S414.2F NW 1/4 & N 1/2 SW 1/4 SEC 34-78-24, 86.2 ACRES
- BEG SW COR N 1/2 SW 1/4 THIN N 1733.54F E 1985.7F SW 1136.4F NWLY 318.27F SWLY641.61F SELY 1136.35F SW 365.22F W 360F TO POB SEC 34-78-24, 16.62 ACRES
- PARCEL M OF BOOK 14401 PAGE 847 COM SW COR SEC 34 THIN N 665.29F E 45F TO POB THIN N 353.28F E 505.06F N 300.03F E 798.64F S 300.03F E 300.03F S 353.27F W 1602.51F TO POB SW 1/4 SEC 34-78-24, 18.496 ACRES
- N 300F E 300F W 1650F S 1320F W 1/2 SEC 34-78-24, 2.066 ACRES
- E 30 A S 1/2 SW 1/4 SEC 34-78-24, 27.824 ACRES

ENGINEER

SHIVE-HATTERY, INC.
4125 WESTOWN PARKWAY, SUITE 100
WEST DES MOINES, IA 50266
(515) 223-8104
FAX: (515) 223-0622

SITE ADDRESS:

7200 SE 5TH ST
DES MOINES 50351

BUILDING SETBACKS:

FRONT YARD - 50 FEET, MINIMUM
SIDE YARD - 55 FEET, MINIMUM
REAR YARD - 50 FEET, MINIMUM

PROJECT DATA:

PROJECT USE / TYPE: PARK IMPROVEMENTS INCLUDE ADDITION OF ACCESS ROADS, PARKING AREAS, TRAILS, & SHELTERS/RESTROOMS

TOTAL PROJECT AREA: 4,486,680 SF (103 ACRES, PER PARK BOUNDARIES)
EXISTING SITE IMPERVIOUS AREA: 141,468 SF (3.2%)
EXISTING SITE PERVIOUS AREA: 4,345,212 SF (96.8%)
PROPOSED SITE IMPERVIOUS AREA: 202,615 SF (4.5%)
PROPOSED SITE PERVIOUS AREA: 4,284,065 SF (95.5%)

TOTAL OPEN SPACE: 4,284,065 SF (95.5%)

TOTAL NEW PAVEMENT: 33,023 SF
TOTAL NEW SIDEWALK PAVEMENT: 23,212 SF

NEW BUILDING AREA: 4,912 SF

MAXIMUM ALLOWABLE BUILDING HEIGHT: 32 FT
PROPOSED STRUCTURE HEIGHTS:

POLYGON SHELTER: 13'-1"
SHADE SHELTER: 9'-4"
GUNNISON VAULT TOILET: 12'-3"
CORTEZ FLUSH TOILET: 9'-10"

LANDSCAPE SUMMARY:

TREE REMOVAL/MITIGATION:
3 FAVORABLE TREES MEET OR EXCEED 12" CAL. AND WILL BE REMOVED PER THE TREE INVENTORY AND ANALYSIS CONDUCTED BY CONSULTING ARBORIST MARK DUNGAN.
4 TREES WILL BE REQUIRED TO REPLACE TREES REMOVED AND ARE SHOWN ON THE SITE PLANS.

ADA PARKING SUMMARY:

EXISTING PARKING AVAILABLE	42 SPACES
EXISTING HANDICAPPED PARKING AVAILABLE	3 SPACES
PROPOSED TOTAL PARKING AVAILABLE	134 SPACES
TOTAL REQUIRED HANDICAPPED PARKING	8 SPACES
PROPOSED TOTAL HANDICAPPED PARKING AVAILABLE	12 SPACES

*TOTAL PARKING AVAILABLE ASSUMES THE LOSS OF 29 SPACES FROM THE PROJECT AREA AND REFLECTS THE ADDITION OF 121 SPACES PER THIS SITE PLAN. TOTAL HANDICAPPED PARKING AVAILABLE ASSUMES THE LOSS OF 2 HANDICAP SPACES FROM THIS PROJECT AND THE ADDITION OF 11 HANDICAP SPACES PER THIS SITE PLAN.

STORMWATER MANAGEMENT:

STORM WATER RUNOFF FROM THE SITE WILL BE DIRECTED TOWARDS THE EXISTING POND, JUST AS IT CURRENTLY DOES. THIS POND SERVES AS A RETENTION POND, SINCE IT ALREADY HAS AN OUTLET STRUCTURE, WHICH ULTIMATELY CONTROLS THE AMOUNT OF RUNOFF LEAVING THE PARK.

RAIN GARDENS ARE PROPOSED IN AREAS WHERE SIGNIFICANT IMPERVIOUS AREAS ARE BEING ADDED. THESE AREAS INCLUDE THE NORTH POND, PENINSULA TURNAROUND, AND THE SMALL PARKING LOT NEAR THE OUTDOOR CLASSROOM. THESE RAIN GARDENS WILL ALLOW FOR QUALITY CONTROL OF A 1.25" RAINFALL EVENT OVER A 24-HOUR PERIOD, AND WILL BE DESIGNED AND INSTALLED BY POLK COUNTY CONSERVATION.

IN AREAS WHERE IT IS NOT FEASIBLE TO PLACE RAIN GARDENS, EXISTING GRASSY SWALES WILL AID IN TREATING THE RUNOFF PRIOR TO REACHING THE POND.

SITE NOTES:

- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
- TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- LIGHTING MUST BE LOW GLARE CUT-OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- NO DUMPSTER WILL BE PROVIDED ON SITE WHICH WOULD REQUIRE THE NEED FOR A DUMPSTER ENCLOSURE.

BENCHMARKS & CONTROL POINTS:

BENCHMARK ID # 3174:

CITY VERTICAL CONTROL MONUMENT - 1/2" X 6.7" REBAR INSIDE 5" DIAMETER PVC WITH ALUMINUM COVER LOCATED ON NORTH SIDE OF COUNTY LINE ROAD AND WEST OF SCHOOL ENTRANCE DRIVE.
NORTHING: 550906
EASTING: 1608653
ELEVATION: 172.72

BENCHMARK ID # 5356:

TRIANGLE CUT IN THE NE CORNER STORM SEWER INTAKE LOCATED ON NORTH SIDE OF E ARMY POST ROAD, #18.
ELEVATION: 168.157

BENCHMARK ID # 237:

BRASS DISC IN NW CORNER OF SIGNAL BASE LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF E ARMY POST ROAD AND SE 5TH STREET.

CP-8:

MAG NAIL ON (N) SIDE ENTRANCE ROAD:
NORTHING: 553862.958
EASTING: 1611166.052
ELEVATION: 154.897

CP-9:

SURVEY SPIKE (E) SIDE OF SE 5TH STREET:
NORTHING: 553849.141
EASTING: 1611295.393
ELEVATION: 153.948

CP-10:

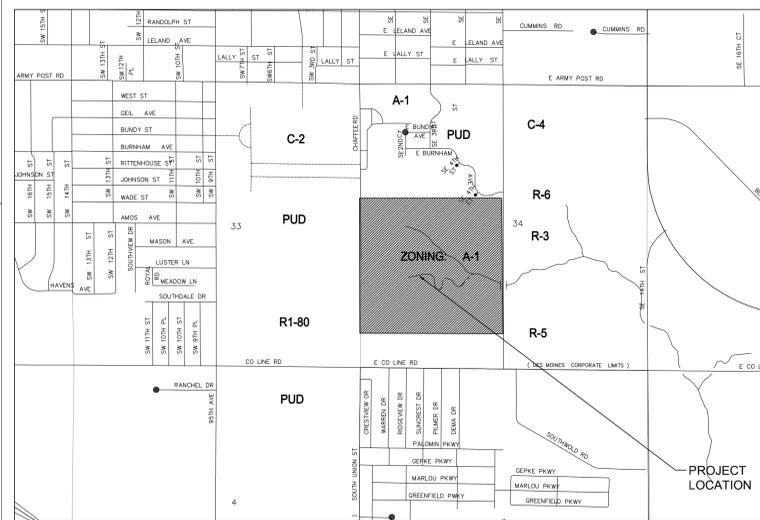
SURVEY SPIKE (NW) OF PLAYGROUND:
NORTHING: 553104.511
EASTING: 1609000.084
ELEVATION: 168.434

EARTHWORK:

EARTHWORK SUMMARY			
LOCATION	CUT (CY)	FILL (CY)	BALANCE
NORTH POND	4,340	845	3,495 (CUT)
PENINSULA	125	289	164 (FILL)
SHELTER #2 AREA	822	0	822 (CUT)
3 SEASONS SHELTER AREA	327	0	327 (CUT)
OUTDOOR CLASSROOM	411	0	411 (CUT)

ASSUMPTIONS:

- 25% FILL FACTOR
- EXCESS FILL WILL BE STOCKPILED WITHIN PARK, SEE GRADING PLANS FOR STOCKPILE LOCATIONS



THE MOST RECENT EDITION OF THE IOWA STATEWIDE URBAN DESIGN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.



KEY PLAN

DRAWN	AJH
APPROVED	ECN
ISSUED FOR	PRICING
DATE	10-05-2015
FIELD BOOK	

PROJECT NO.: 4132061

COVER SHEET

C0.00

**FORT DES MOINES
PARK IMPROVEMENTS**

POLK COUNTY CONSERVATION



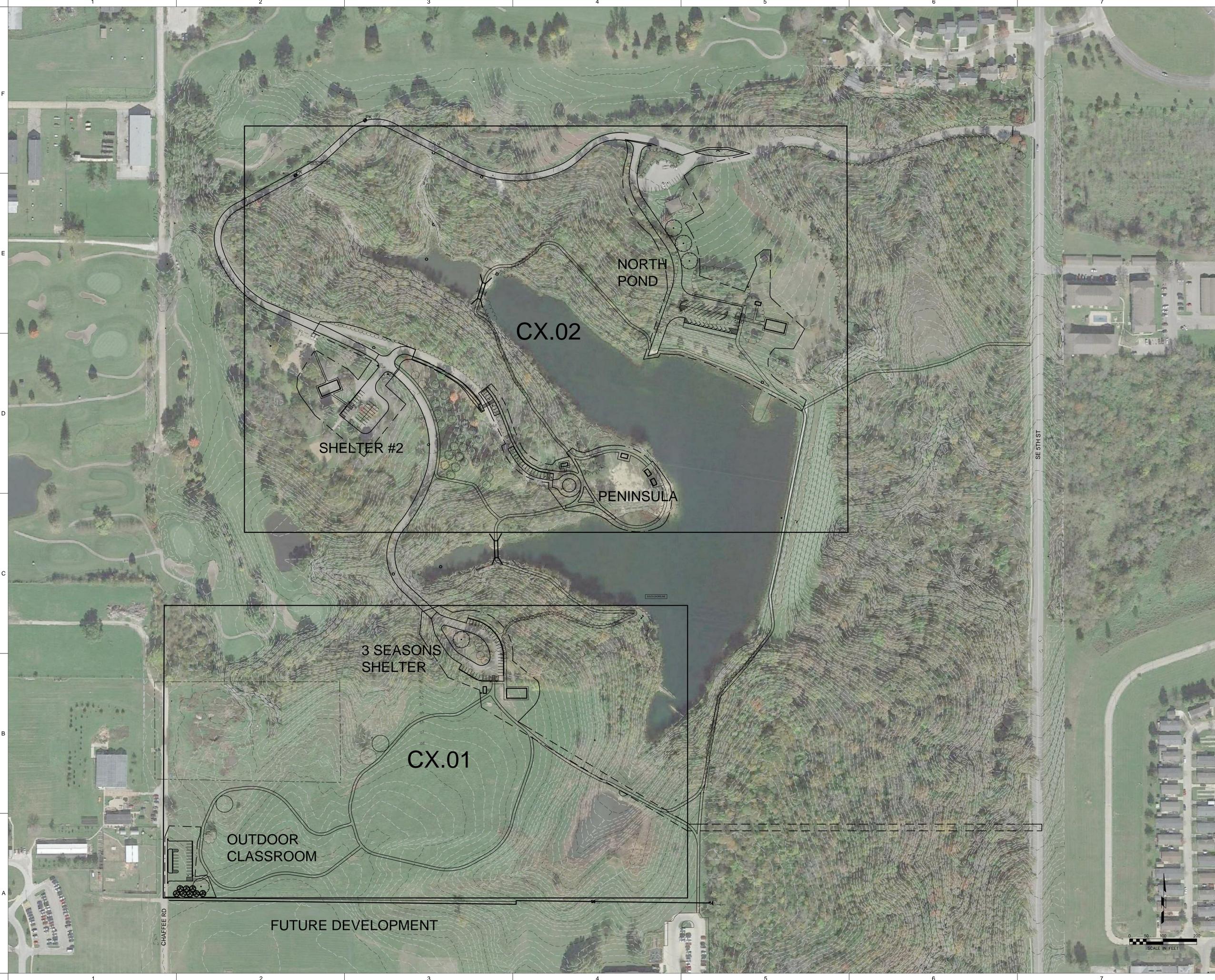
KEY PLAN

DRAWN JRM
APPROVED MMC
ISSUED FOR CITY REVIEW
DATE 10-05-2015
FIELD BOOK

PROJECT NO.: 4132061

OVERALL MAP

C0.01



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**FORT DES MOINES
PARK IMPROVEMENTS**

POLK COUNTY CONSERVATION



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NOT FOR CONSTRUCTION**

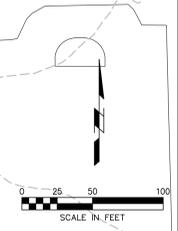
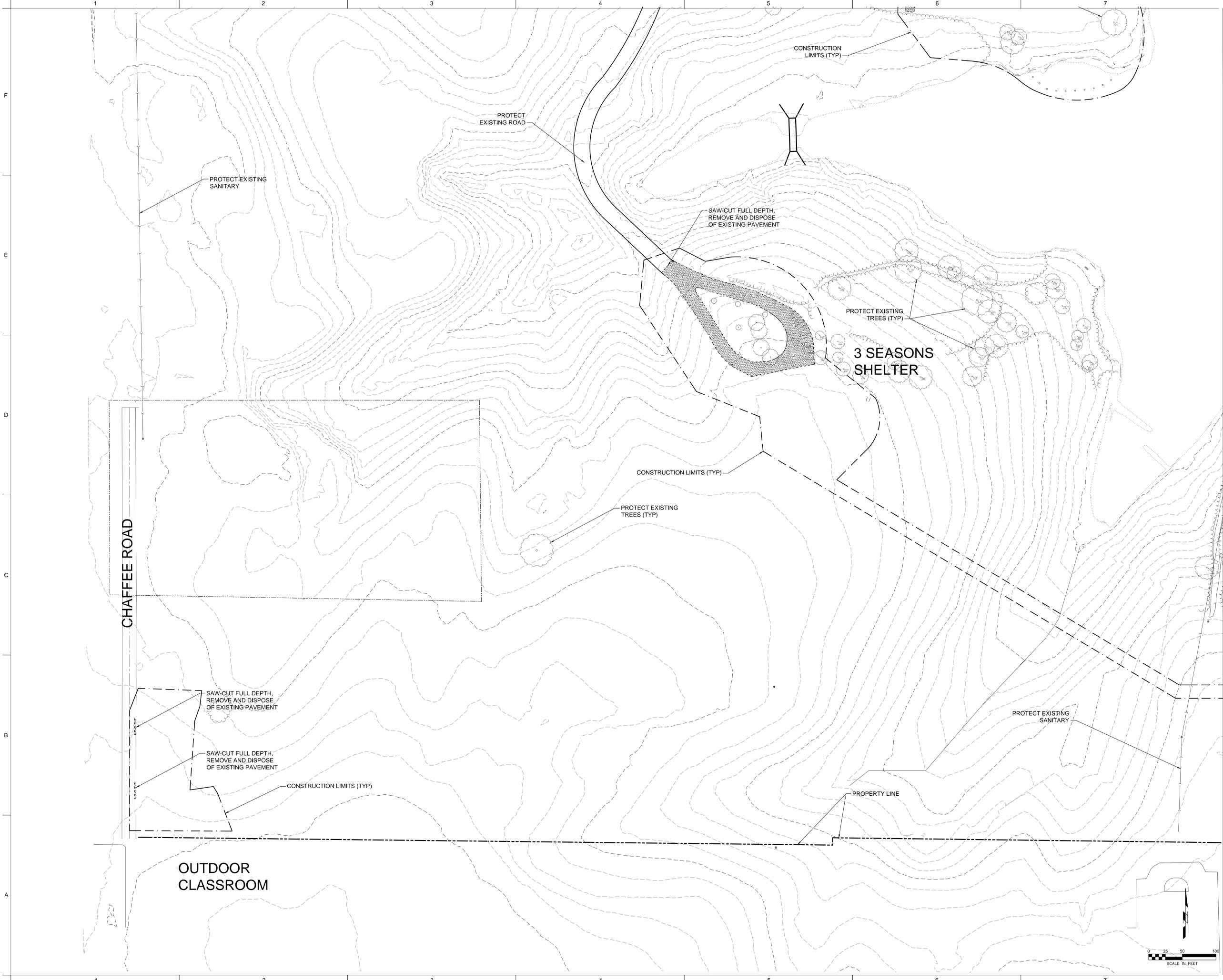
KEY PLAN

DRAWN	JRM
APPROVED	MMC
ISSUED FOR	PRICING
DATE	10-05-2015
FIELD BOOK	

PROJECT NO.: 4132061

DEMO PLAN

CD.01



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**FORT DES MOINES
PARK IMPROVEMENTS**

POLK COUNTY CONSERVATION



**PRELIMINARY
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KEY PLAN

DRAWN	JRM
APPROVED	MMC
ISSUED FOR	PRICING
DATE	10-05-2015
FILE BOOK	

PROJECT NO.: 4132061

DEMO PLAN

CD.02



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**FORT DES MOINES
PARK IMPROVEMENTS**

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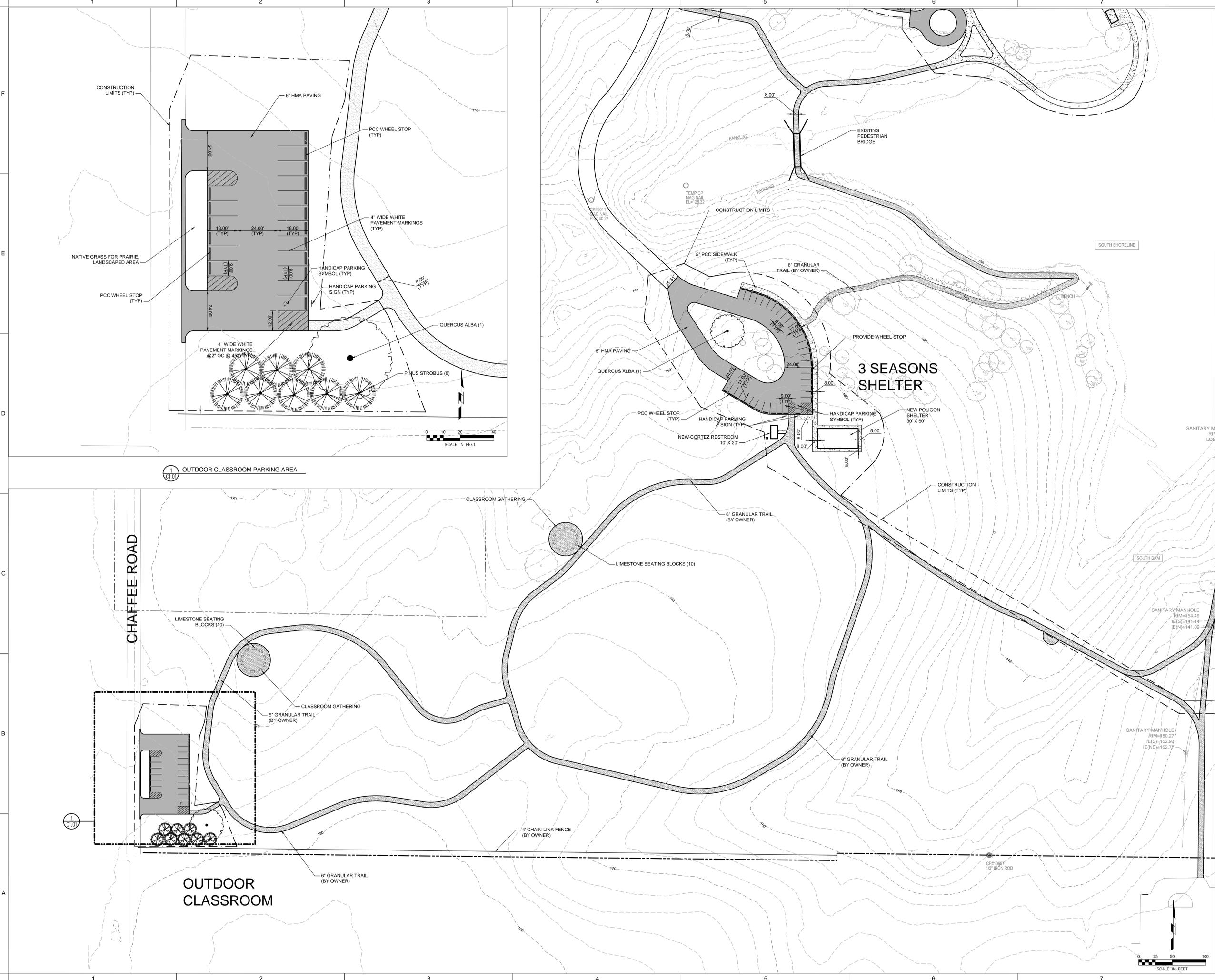
KEY PLAN

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FIELD BOOK	

PROJECT NO.: 4132061

SITE PLAN

C1.01



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PARK IMPROVEMENTS**

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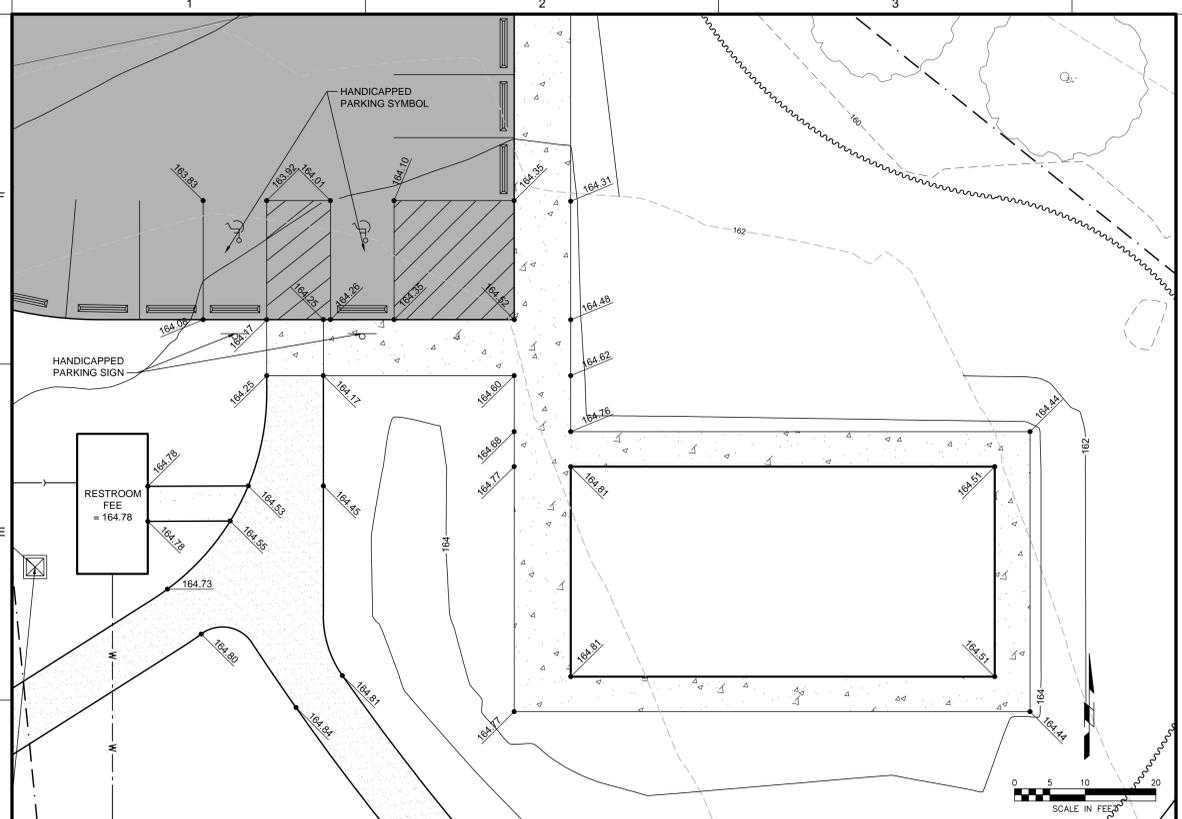
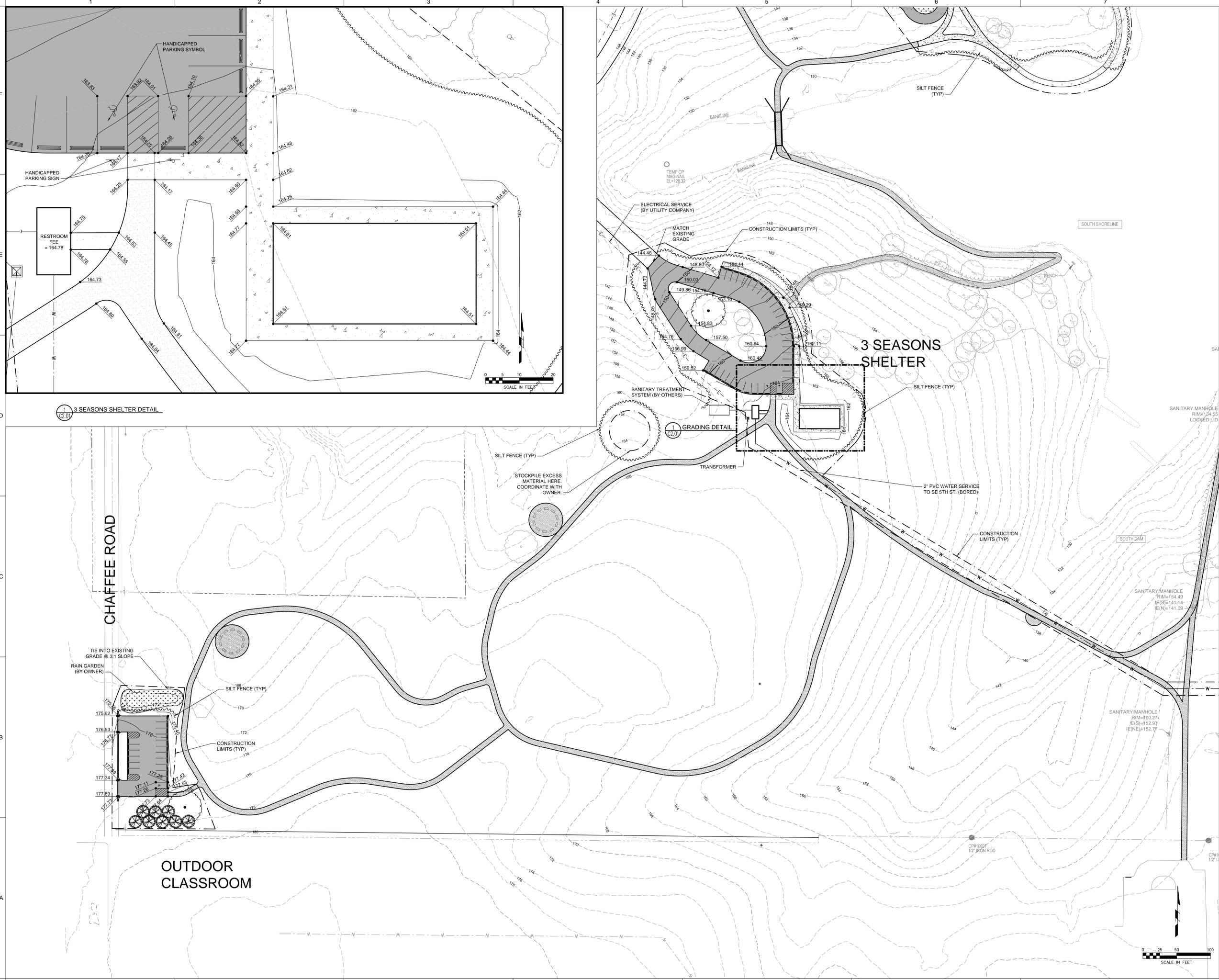
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PROJECT NO.: 4132061

GRADING & UTILITY PLAN

C2.01



1 3 SEASONS SHELTER DETAIL

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PARK IMPROVEMENTS**

POLK COUNTY CONSERVATION



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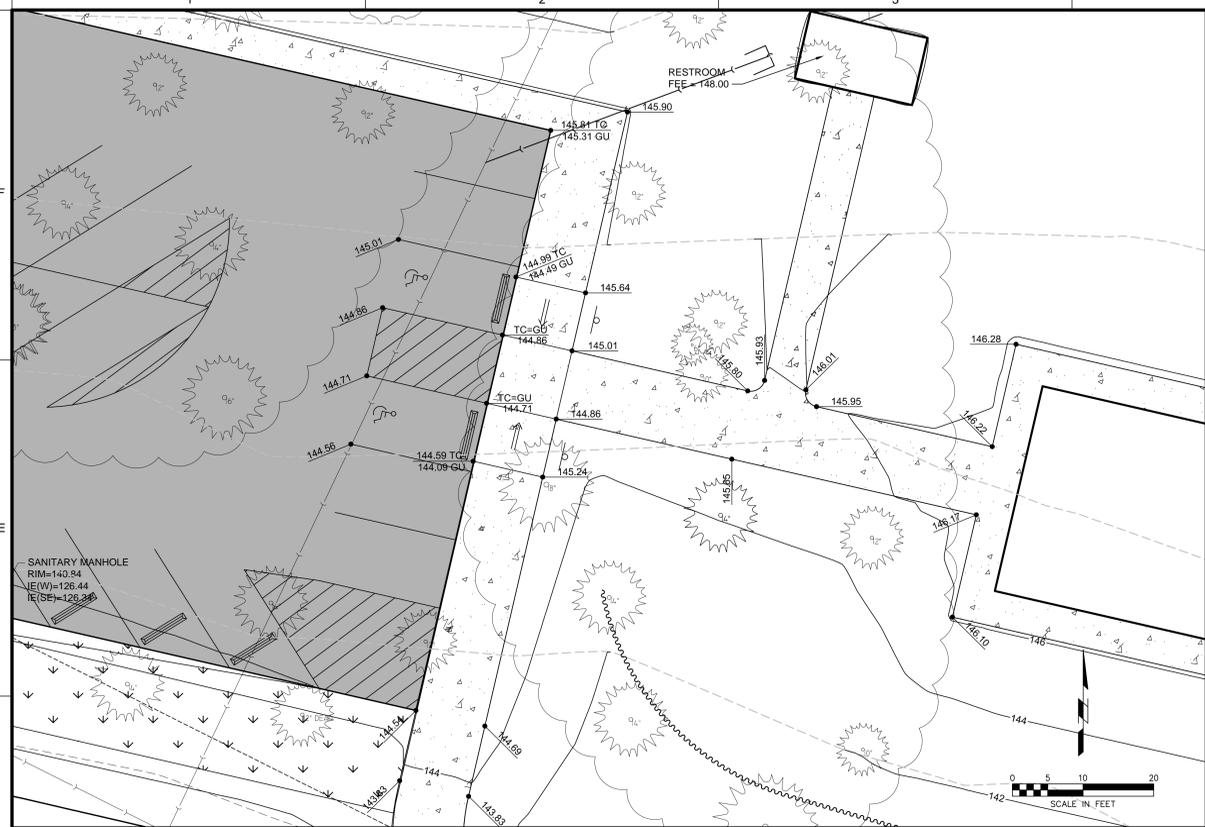
KEY PLAN

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FIELD BOOK	

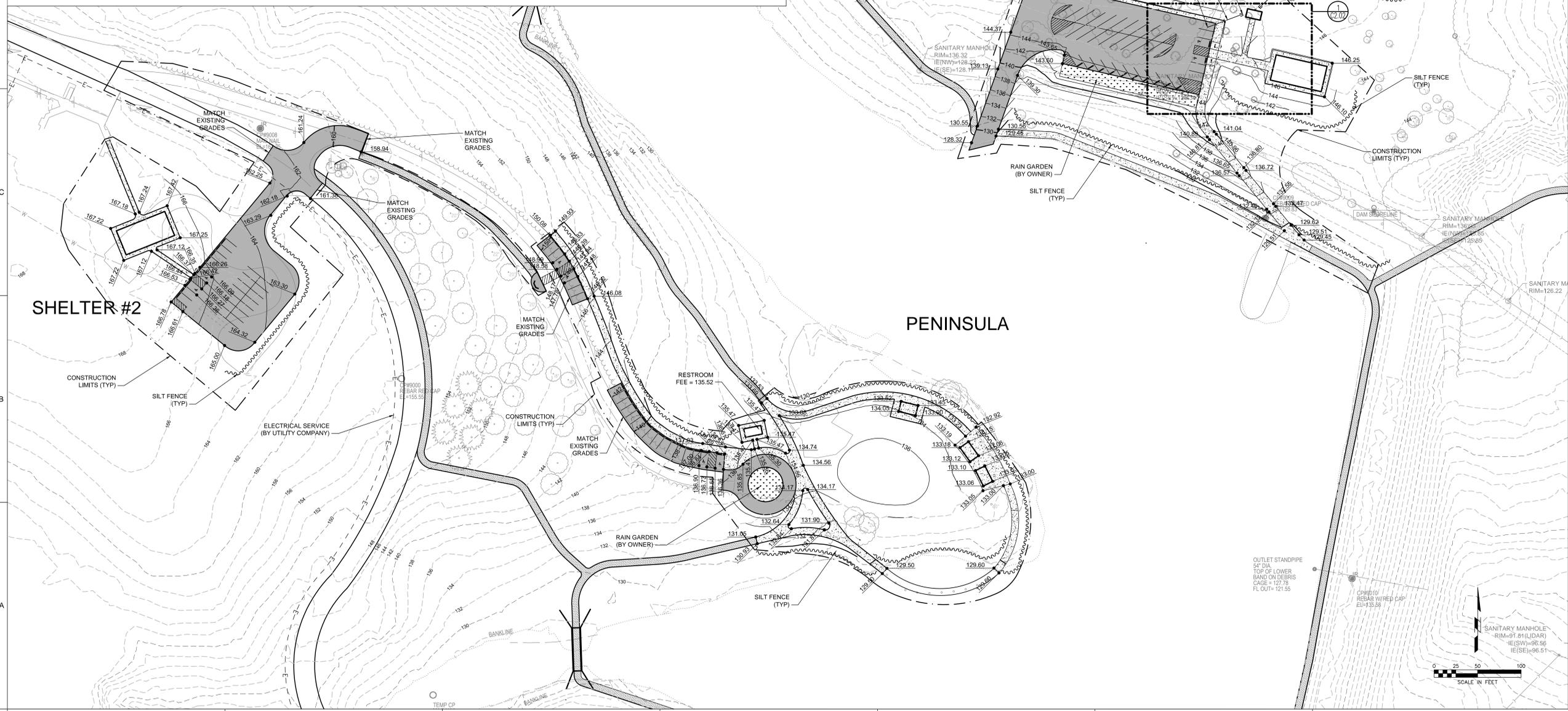
PROJECT NO.: 4132061

GRADING & UTILITY PLAN

C2.02



1 GRADING DETAIL
7/27/07



SCALE IN FEET

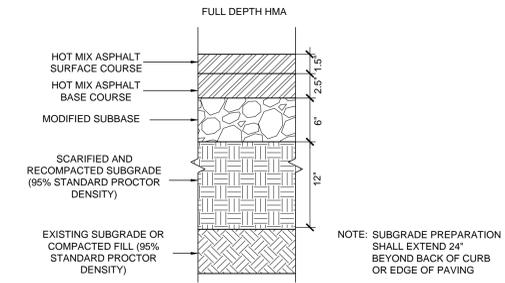
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GENERAL NOTES:

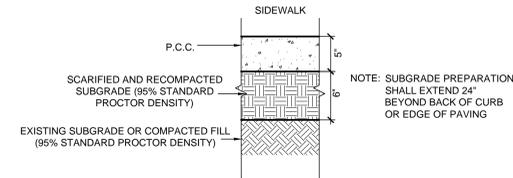
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THE DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR.
- COORDINATE ALL WORK WITH OWNER. CONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO OSHA SAFETY STANDARDS.
- NOTIFY OWNER OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION. IF THAT LOCATION DIFFERS FROM THE PLAN CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY. NO ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. UTILITY CONFLICTS DISCOVERED DURING CONSTRUCTION WILL BE ADDRESSED AT THE TIME OF DISCOVERY.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- REPAIR OR REPLACE DAMAGE TO EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) DESIGNATED TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE OWNER AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE OWNER, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
- NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENTS THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
- STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND GENERAL PERMIT HAVE BEEN OBTAINED AND CAN BE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE AND ANY OFF SITE BORROW OR DISPOSAL AREAS USED FOR THIS PROJECT. COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL NOT DISTURB VEGETATION OUTSIDE GRADING LIMITS. CONTRACTOR SHALL MINIMIZE DISTURBANCE WITHIN GRADING LIMITS TO THAT NECESSARY TO ACHIEVE PROPOSED GRADES AS SHOWN.
- SEED ALL DISTURBED AREAS. SEEDING TYPE TO BE COORDINATED WITH THE OWNER.

SPECIFICATIONS:

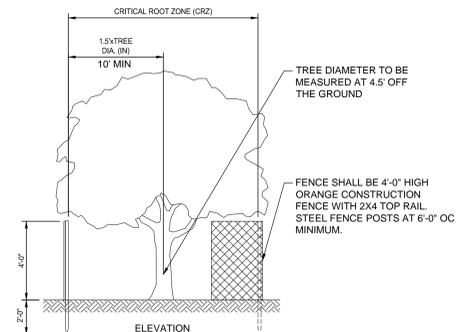
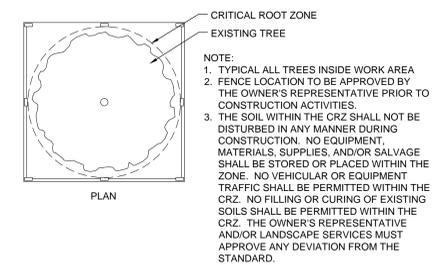
- PAVEMENT REMOVAL**
REFER TO SECTION 7040. QUANTITY INCLUDES REMOVAL AND DISPOSAL OF ALL PAVING AS SHOWN ON THE PLANS. SAW PAVEMENT TO FULL DEPTH AT THE LOCATION SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE ADJACENT TO THE DEMOLITION. REPAIR AND OR REPLACEMENT SHALL BE CONSIDERED INCIDENTAL.
- SUBGRADE PREPARATION**
REFER TO SECTION 2010. ITEM INCLUDES PREPARING PAVEMENT SUBSURFACE AS SHOWN ON THE TYPICAL SECTIONS. PREPARE SUBGRADE IN TWO (2) SIX-INCH LIFTS (REMOVE AND REPLACE TOP 6-INCH OF SUBGRADE TO PREPARE LOWER LIFT) AND COMPACT SOIL TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY. MOISTURE CONTENT OF SOIL SHALL BE WITHIN A RANGE OF OPTIMAL MOISTURE TO 4% ABOVE. CONTRACTOR SHALL PROOF ROLL WITH VISUAL INSPECTION PERFORMED BY THE ENGINEER.
- MODIFIED SUBBASE**
REFER TO SECTION 2010. COMPLY WITH IOWA DOT SPECIFICATIONS SECTION 4123.
- HOT MIX ASPHALT MIXTURE (1,000,000 ESAL), BASE COURSE, 3/4 IN. MIX**
REFER TO SECTION 7020. SEE CROSS-SECTION FOR THICKNESS. USE PG 64-22 BINDER. DENSITY SAMPLING AND QUALITY CONTROL PER THE SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- HOT MIX ASPHALT MIXTURE (1,000,000 ESAL), SURFACE COURSE, 1/2 IN. MIX**
REFER TO SECTION 7020. SEE CROSS-SECTION FOR THICKNESS. USE PG 64-22 BINDER. DENSITY SAMPLING AND QUALITY CONTROL PER THE SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PAINTED PAVEMENT MARKINGS, DURABLE**
REFER TO IOWA DOT SPECIFICATIONS SECTION 2527. REFER TO SITE PLANS FOR PERMANENT PAVEMENT MARKING LOCATION.
- SILT FENCE**
REFER TO SECTION 9040. BID ITEM INCLUDES SILT FENCE AND SILT FENCE FOR DITCH CHECKS. INLET PROTECTION, MAINTENANCE OF SILT FENCE, AND REMOVAL OF SILT FENCE SHALL BE CONSIDERED INCIDENTAL.
- PCC SIDEWALK**
REFER TO SECTION 7030 AND TYPICAL CROSS SECTION.



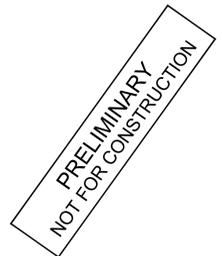
3 HMA PAVEMENT CROSS SECTION
NOT TO SCALE



2 SIDEWALK CROSS SECTION
NOT TO SCALE



1 TREE PROTECTION
NOT TO SCALE



KEY PLAN

DRAWN	AJH
APPROVED	ECN
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**DETAILS, SPECIFICATIONS,
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